

**REPORT ON PROPOSED SPECIAL ASSESSMENTS FOR PUBLIC IMPROVEMENTS
AGAINST PROPERTIES LOCATED IN PIKE'S BAY SANITARY DISTRICT, TOWN
OF BAYFIELD, BAYFIELD COUNTY, WISCONSIN**

This report is submitted in accordance with the requirements of Wis. Stat. §66.0705 and the preliminary resolution of the Pike's Bay Sanitary District Commission. Wisconsin numbered Resolution 2022-2, and dated February 6, 2023, determining to levy special assessments on benefited properties listed in Schedule C of this report for public improvements described in Schedule A of this report within the assessment district described below.

ASSESSMENT DISTRICT

All properties located at 34405, 34300, 34480, Port Superior Road, 84190 Pikes Bay Rd, and 34580, 34590, 34600, 34595, 34625, Bay View Road and 34545, 34605, 34645, 34705 Pumphouse Road, all in Bayfield, WI 54814.

FINDING OF BENEFIT

The properties listed in Schedule C of this report will be benefitted by the project described in Schedule A because they will obtain access to public sanitary sewer service.

ATTACHMENTS

This report incorporates the following schedules attached hereto:

- Schedule A - Plans and Specifications. / Bidding Documents.
- Schedule B - Estimate of entire cost of proposed improvements.
- Schedule C - Schedule of proposed assessments against each benefited parcel.

Dated: January 3, 2023.

/s

Rose Lawyer, Clerk

PBSD LOWER LS
FORCE MAIN PROJECT

BAYFIELD COUNTY

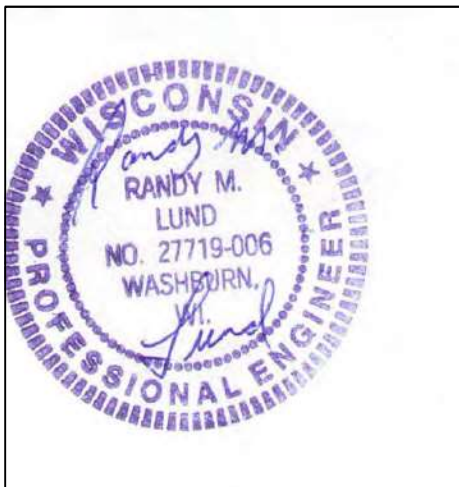
SEC 22, T50N, R04W

SHEET INDEX

- 1) TITLE -SHEET 1
- 2-3) DETAILS 2a, 2b
- 4) PLAN OVERALL X200
- 5) PLAN OVERALL AIR
- 6-8) PLAN; 3A, 3B, 3C
X100
- 9-11) PLANS 3. 1, 3. 2, 3. 3
X50
- 12) PROFILE PLAN

PROJECT LOCATION



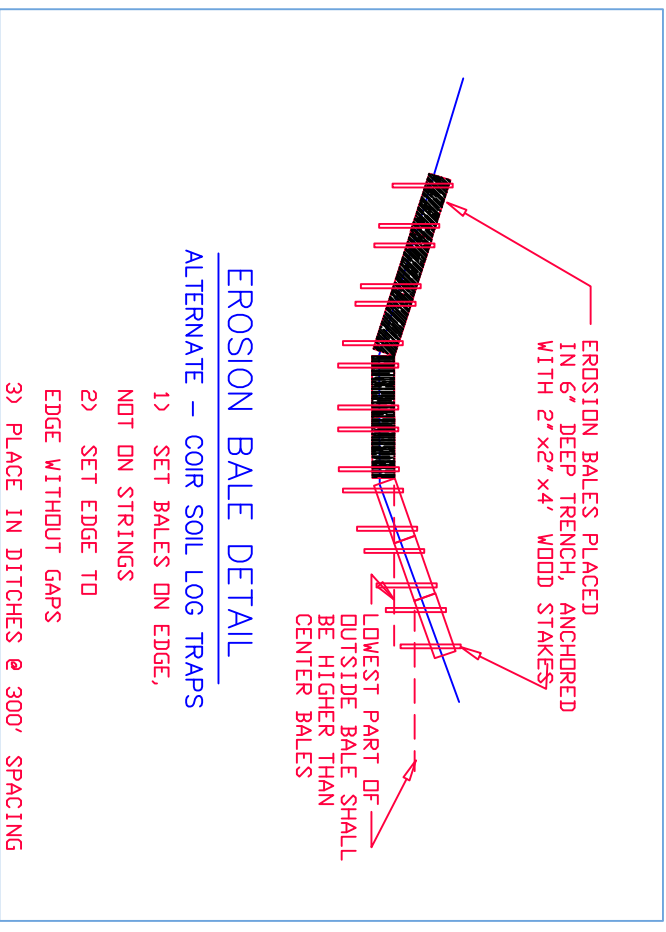
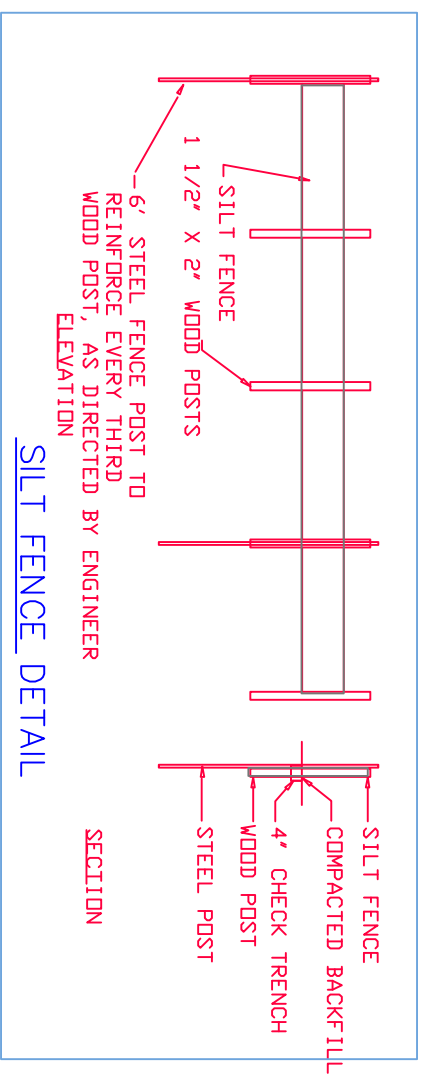
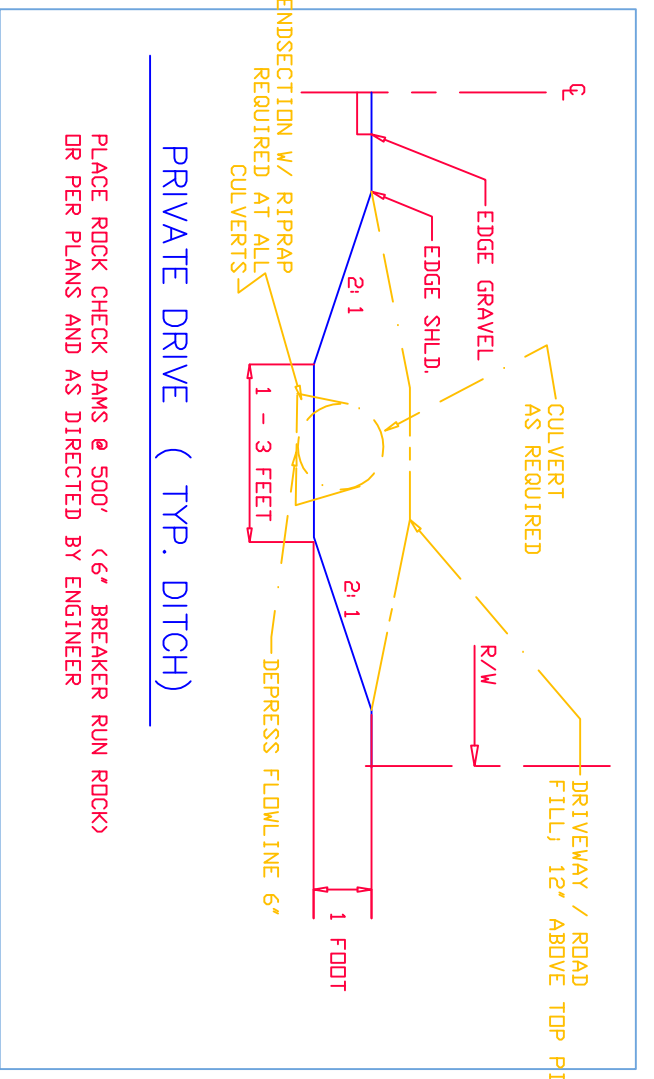


LUND ENGINEERING

RANDY M. LUND, PE

PROJ. NO. PBSD SEP2021 BAYFIELD	DRAWN BY RML	CHECKED BY RML	DATE 10JAN23	PROJECT PIKES BAY SANITARY DISTRICT LOWER LS -FORCE MAIN PROJECT	LUND ENGINEERING WASHBURN WI 54891	SHEET DESCRIPTION TITLE SHEET FORCE MAIN PROJECT	SHEET NUMBER 1
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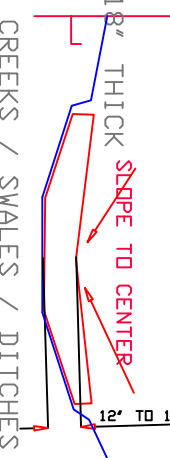
D:\ACAD2020\PROJECTS\DMG\PBSD SOUTH JAN2023 BAYFIELD.dwg 1/10/2023 11:41:53 AM CST



GENERAL NOTES

- 1) CONTRACTOR TO VERIFY UTILITIES
- 2) UTILITIES SHOWN MAY NOT BE COMPLETE
- 3) CONTRACTOR TO CALL 'DIGGER'S HOTLINE' PRIOR TO CONSTRUCTION
- 4) ENGINEER TO BE NOTIFIED OF ANY PLAN DISCREPANCIES
- 5) ENGINEER TO BE NOTIFIED OF POTENTIAL CHANGE ORDERS
- 6) ENGINEER TO VERIFY ANY CHANGED CONDITIONS
- 7) DEWATERING BY CONTRACTOR TO MEET STATE LAWS
- 8) SURFACE WATER DIVERSION'S TO COMPLY WITH STATE LAW
- 9) ALL CONSTRUCTION DEBRIS TO BE DISPOSED OF, BY CONTRACTOR
- 10) CONTRACTOR TO NOTIFY ENGINEER, 3 DAYS BEFORE TESTING
- 11) CONTRACTOR TO NOTIFY ENGINEER, 3 DAYS BEFORE STAKING
- 12) ALL SIGNS SHALL BE REMOVED AND REPLACED BY CONTRACTOR
- 13) TRAFFIC CONTROL TO BE PLACED BY CONTRACTOR
- 14) CONTRACTOR TO MAINTAIN USE OF ALL MAIL BOXES
- 15) CONTRACTOR TO MAINTAIN TRAFFIC FLOW
- 16) AT WETLAND CROSSINGS; ALL WETLAND MATERIAL TO BE SALVAGED
- 17) REPLACE WETLAND MATERIAL 18-24" THICK @ UTILITY CROSSINGS, AS REQUIRED
- 18) CONSTRUCTION MUST AVOID USE OF WETLAND AREAS
- 19) ALL EROSION CONTROL TO BE IN PLACE AT START
- 20) CONTRACTOR SHALL USE TRACKING PADS TO LIMIT MUD ON STREETS
- 21) CONTRACTOR TO CONTROL ALL SITE RUNOFF
- 22) CONTRACTOR TO RECORD ALL UNDERGROUND DATA
- 23) CONTRACTOR TO MEET ALL COUNTY REQUIREMENTS
- 24) WI DNR, DSPS, PBSD, DOT, COMPLIANCE AS REQUIRED
- 25) MEET WI DOT STD. SPEC. (HIGHWAY & STRUCT. CONST.)--2019
- 26) MEET STD. SPEC. FOR SEWER & WATER CONST. IN WI-6TH ADDITION
- 27) MINIMUM BURY = 8.0 FEET FOR PVC WATERMAIN / 7' FOR SEWER
- 28) WASHED STONE TRACKING PAD - REQUIRED AT SITE EXITS
- 29) TRACER WIRE 10 GAGE; REQUIRED FOR ALL NON-METALIC PIPE
- 30) ROADS & DRIVES TO BE REPLACED IN KIND / 3' MIN. ASPHALT
- 31) CONTRACTOR TO FOLLOW DNR TECH SPEC'S FOR EROSION CONTROL
- 32) CONTRACTOR TO MARK ALL MH'S & VALVES; WITH 6' STEEL POSTS
- 33) ANY UTILITIES, DAMAGED, MUST BE REPAIRED TO ENGINEER'S SATISFACTION

ROCK CHECK DAM - TEMPORARY/ PERMANENT



LEGEND

- EXIST STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXIST INLET
- PROPOSED CATCHBASIN
- UTILITY MANHOLE
- EXIST HYDRANT
- PROPOSED HYDRANT
- EXIST SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- LIGHT
- EXIST WATER VALVE
- PROPOSED WATER VALVE
- WATER SERVICE VALVE (EX. / PRO.)
- TEL PEDESTAL
- SURVEY MONUMENT'S
- SOIL BORING
- CONTROL POINT
- BENCHMARK
- IRON PIPE / PIN / ROD
- GAS VALVE
- DECIDUOUS TREE < 6"
- DECIDUOUS TREE > 6"
- EVERGREEN TREE < 6"
- EVERGREEN TREE > 6"
- SHRUB
- UTILITY POLE
- CENTERLINE
- R/L
- REFERENCE LINE
- EDGE OF PAVEMENT
- DRAINAGE SWALE
- SWALE
- SIGNS
- HIGHWAY
- MARSH



SCALE	PROJ. NO.
PBSD SOUTH NOV2022 BAYFIELD	CHECKED BY
DRAWN BY	RML
DATE	REVISIONS
09NOV22	

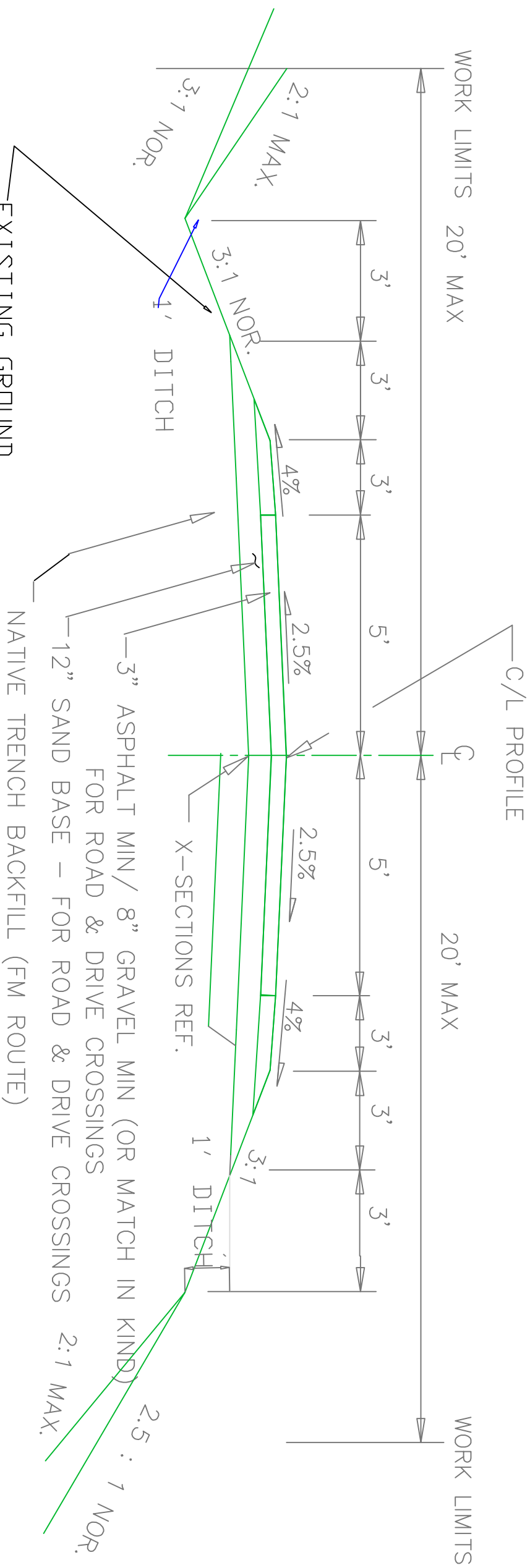
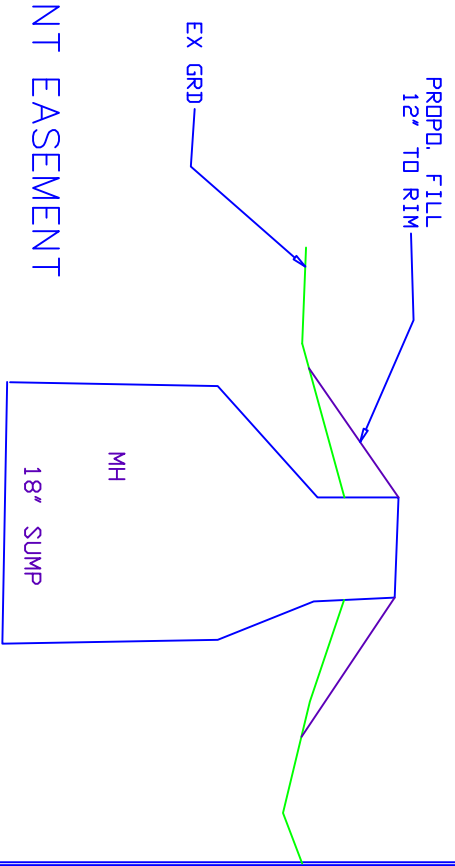
PROJECT
PBSD LOW LS FM PROJECT 2021

LUND ENGINEERING
 715-209-0367 rmlund1@charter.net
 WASHBURN WI 54891

SHEET DESCRIPTION
DETAILS - EROSION CONTROL
 LEGEND / NOTES

SHEET NUMBER
2A

PLACE SILT FENCE ON DOWNHILL SIDE OR WORKING AREA – IN ALL DRAINAGE PATHS & SWALES
 SALVAGE EXISTING TOPSOIL (SEED & MULCH)
 PLACE FORCE MAIN AT 7' DEPTH
 STOCKPILE MATERIAL ON UPLAND SLOPE
 RESTORE TRENCHES TO EXISTING CONDITION
 ALL MH'S TO HAVE RIM SET TO SURFACE PLUS 12"
 ALL MH'S TO HAVE 18" SUMP
 MH DEPTH TO BE 10' (RIM TO INV, INCLUDES CASTING) **FORCE MAIN TO PLACED IN 20' WIDE PERMANENT EASEMENT**



EXISTING GRROUND

ALL POTENTIAL WETLAND CROSSINGS TO BE MINIMIZED AND TOP 12" OF WETLANDS SOILS TO BE SEPARATED FOR REPLACEMENT
 ALL ACTIVITY (INCLUDES STOCKPILES) IN POTENTIAL WETLAND AREAS TO BE ON CONSTRUCTION PADS OR MATS (FABRIC AND ROCK OR LOG MATS)
 MH'S & LATERALS TO BE MARKED IN THE FIELD BY ENGINEER
 EASEMENTS 20' PERMANENT ABOUT C/L OF FM
 EASEMENTS 40' TEMPORARY ABOUT C/L OF FM
 ALL TREES TO BE SAVED – ENGINEER MUST APPROVE TREE REMOVAL IF OVER 3" IN DIAMETER
 ALL INFRASTRUCTURE AND LAND OWNER AMENITIES TO BE SAVED OR MOVED AND REPLACED

SCALE PBSD SOUTH NOV2022 BAYFIELD	PROJ. NO. PBSD SOUTH NOV2022 BAYFIELD	PROJECT PIKES BAY SANITARY DISTRICT LOWER LS FORCE MAIN PROJECT	SHEET DESCRIPTION DETAILS	SHEET NUMBER 2 B
DRAWN BY RML	CHECKED BY RML	715-209-0367 WASHBURN WI 54891	LEGEND / NOTES	
DATE 09NOV22	REVISIONS	LUND ENGINEERING mlund1@charter.net		

PLAN SHEET 3 - OVERALL

PBSD LOWER FORCE MAIN PROJECT

PIKES BAY SANITARY DISTRICT #1 LOWER LIFT STATION FORCE MAIN PROJECT

Dated: 23 AUG 22
SCALE: ONE INCH = 200 FEET
LUND ENGINEERING
415 EAST 3RD STREET PH. 715-209-0367
WASHBURN WI 54891
E-MAIL: RMLUND1@CHARTER.NET

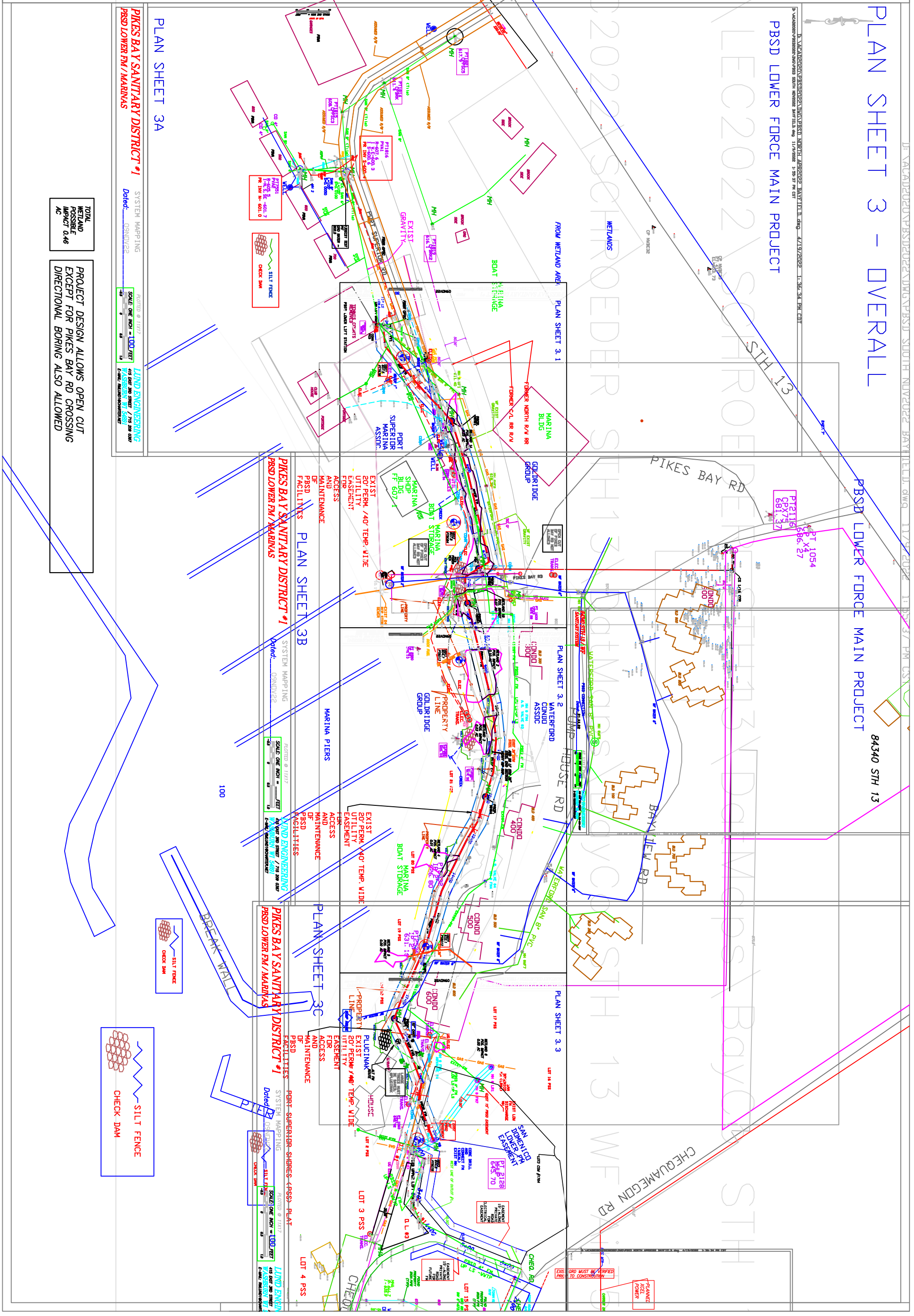
PLAN SHEET 3A

PIKES BAY SANITARY DISTRICT #1 PBSD LOWER FM / MARINAS

SYSTEM MAPPING
Dated: 09/01/22
SCALE ONE INCH = 100 FEET
LUND ENGINEERING
415 EAST 3RD STREET / 715 209 0367
WASHBURN WI 54891
E-MAIL: RMLUND1@CHARTER.NET

TOTAL
WETLAND
POSSIBLE
IMPACT 0.46
AC

PROJECT DESIGN ALLOWS OPEN CUT
EXCEPT FOR PIKES BAY RD CROSSING
DIRECTIONAL BORING ALSO ALLOWED



PIKES BAY SANITARY DISTRICT #1 PBSD LOWER FM / MARINAS

SYSTEM MAPPING
Dated: 09/01/22
SCALE ONE INCH = 100 FEET
LUND ENGINEERING
415 EAST 3RD STREET / 715 209 0367
WASHBURN WI 54891
E-MAIL: RMLUND1@CHARTER.NET

PIKES BAY SANITARY DISTRICT #1 PBSD LOWER FM / MARINAS

SYSTEM MAPPING
Dated: 09/01/22
SCALE ONE INCH = 100 FEET
LUND ENGINEERING
415 EAST 3RD STREET / 715 209 0367
WASHBURN WI 54891
E-MAIL: RMLUND1@CHARTER.NET

SILT FENCE
CHECK DAM

SILT FENCE
CHECK DAM

PLANNED
POWER

PLAN SHEET 3 - OVERALL

PIKES BAY SANITARY DISTRICT #1 LOWER LIFT STATION FORCE MAIN PROJECT

PBSD LOWER FORCE MAIN PROJECT

Dated: _____
SCALE: ONE INCH = 100 FEET
PBSD LOWER LIFT STATION FORCE MAIN PROJECT

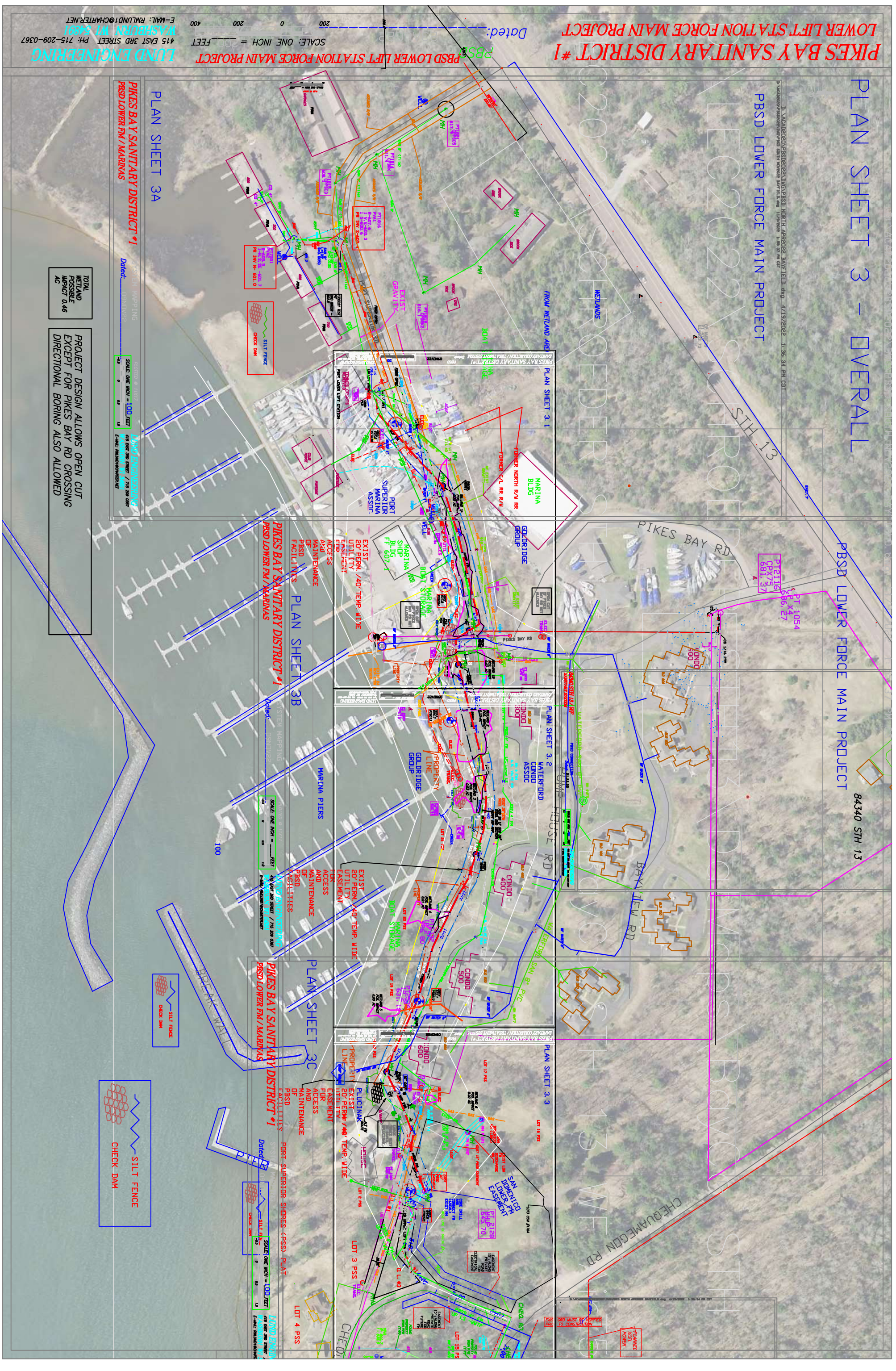
PLAN SHEET 3A

PIKES BAY SANITARY DISTRICT #1
PBSD LOWER FM / MARINAS

DATE: 1/13/2022
SCALE: ONE INCH = 100 FEET
415 EAST 3RD STREET / 715 3RD AVE
E-MAIL: RMLUND1@CHARTER.NET

TOTAL
WETLAND
POSSIBLE
IMPACT 0.46
AC

PROJECT DESIGN ALLOWS OPEN CUT
EXCEPT FOR PIKES BAY RD CROSSING
DIRECTIONAL BORING ALSO ALLOWED



PLAN SHEET 3A

PLAN SHEET 3B

PLAN SHEET 3C

PIKES BAY SANITARY DISTRICT #1
PBSD LOWER FM / MARINAS

DATE: 1/13/2022
SCALE: ONE INCH = 100 FEET
415 EAST 3RD STREET / 715 3RD AVE
E-MAIL: RMLUND1@CHARTER.NET

DATE: 1/13/2022
SCALE: ONE INCH = 100 FEET
415 EAST 3RD STREET / 715 3RD AVE
E-MAIL: RMLUND1@CHARTER.NET

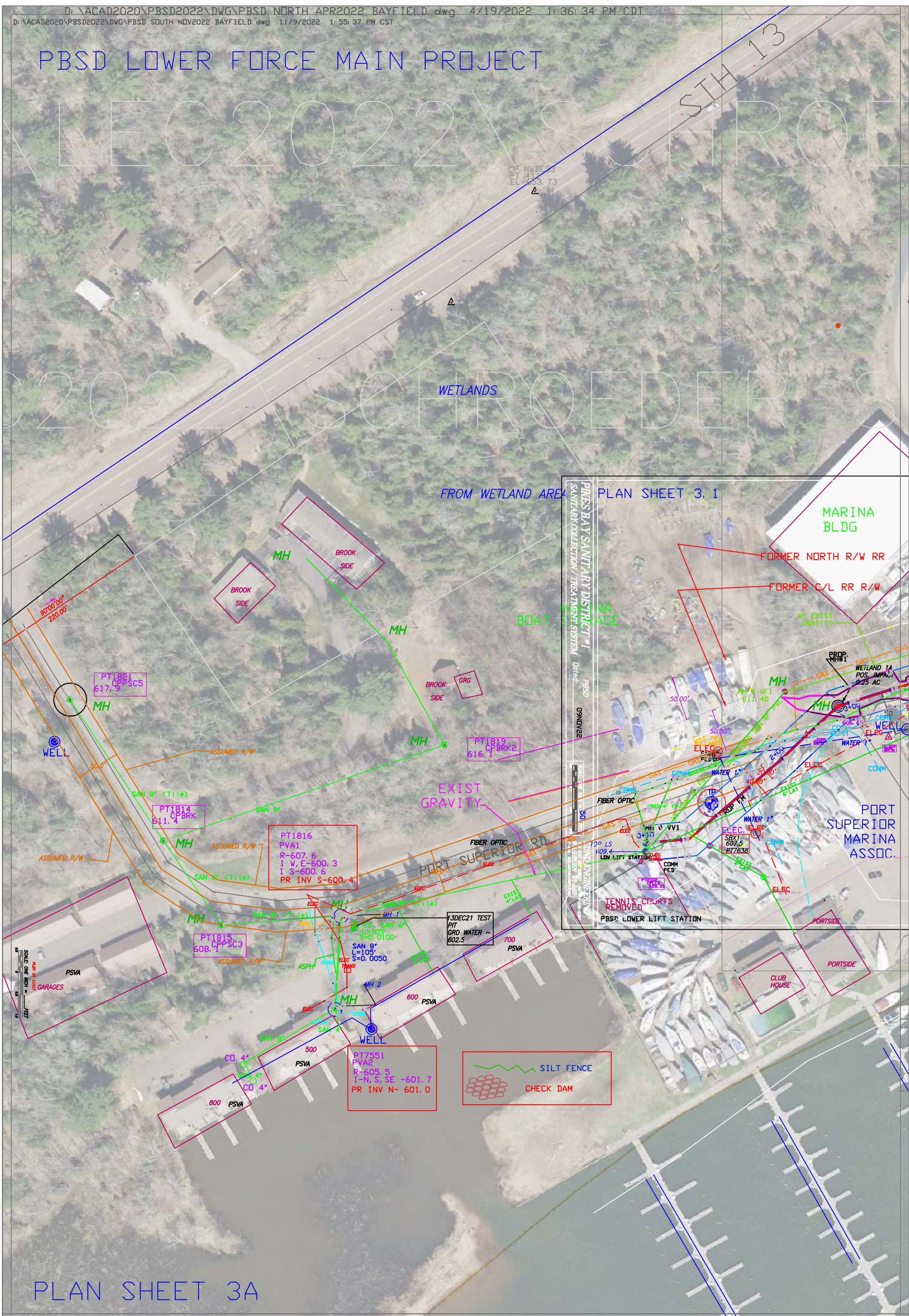
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SCALE: ONE INCH = 100 FEET
415 EAST 3RD STREET / 715 3RD AVE
E-MAIL: RMLUND1@CHARTER.NET

TOTAL
WETLAND
POSSIBLE
IMPACT 0.46
AC

PROJECT DESIGN ALLOWS OPEN CUT
EXCEPT FOR PIKES BAY RD CROSSING
DIRECTIONAL BORING ALSO ALLOWED

PBSD LOWER FORCE MAIN PROJECT

LEO2022\SCHEMATIC



PLAN SHEET 3A

PIKES BAY SANITARY DISTRICT #1
PBSD LOWER FM / MARINAS

SYSTEM MAPPING
Dated: 09NOV22

PLOTTED @ 11X17
SCALE: ONE INCH = 100 FEET
-0.5 0 0.5 1.0

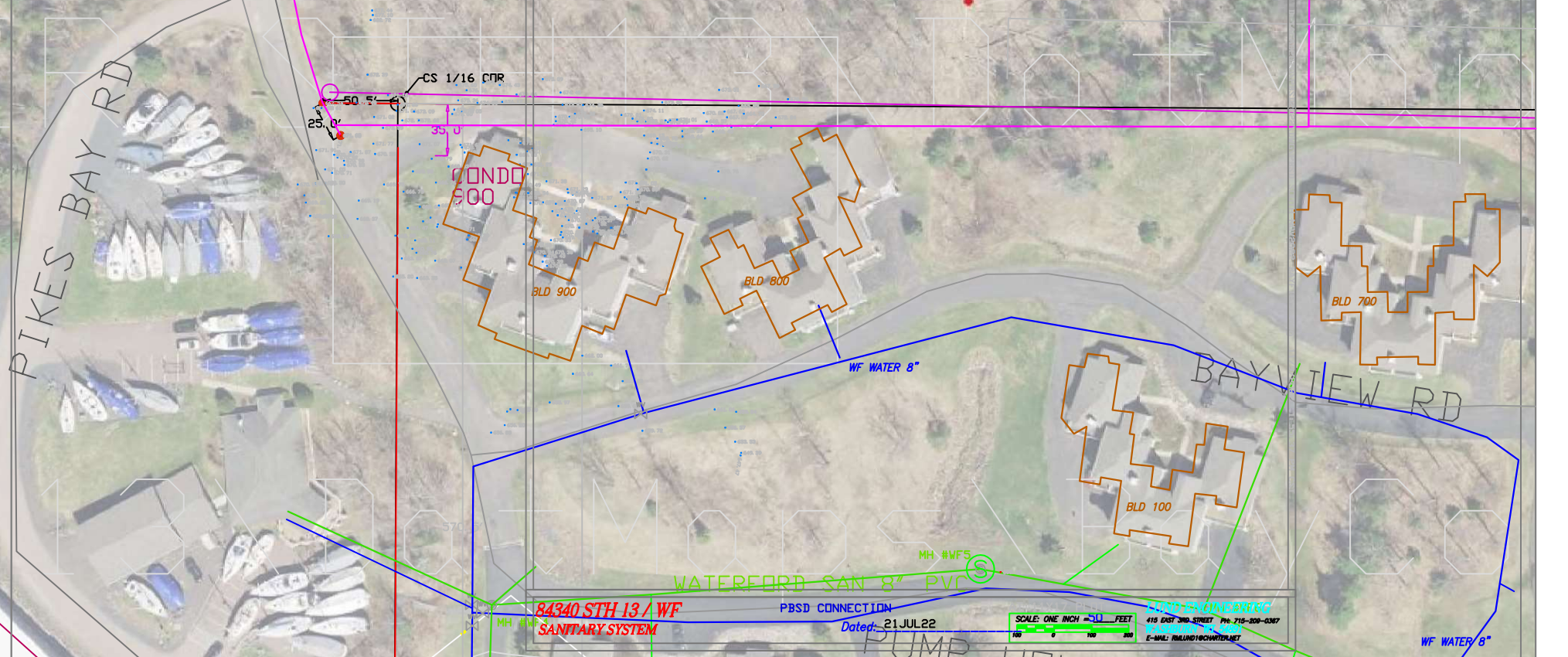
LUND ENGINEERING
415 EAST 3RD STREET / 715 209 0367
WASHBURN WI 54801
E-MAIL: RMLUND1@CHARTER.NET

84340 STH 13

PBSD LOWER FORCE MAIN PROJECT

PT 1054
CP X4
686.27

PT2116
CPX75
681.37



PLAN SHEET 3.2

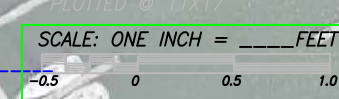
WATERFORD
CONDO
ASSOC



PLAN SHEET 3B

PIKES BAY SANITARY DISTRICT #1
PBSD LOWER FM / MARINAS

LUND ENGINEERING
415 EAST 3RD STREET / 715 209 0367
WASHBURN WI 54801
E-MAIL: RMLUND1@CHARTER.NET

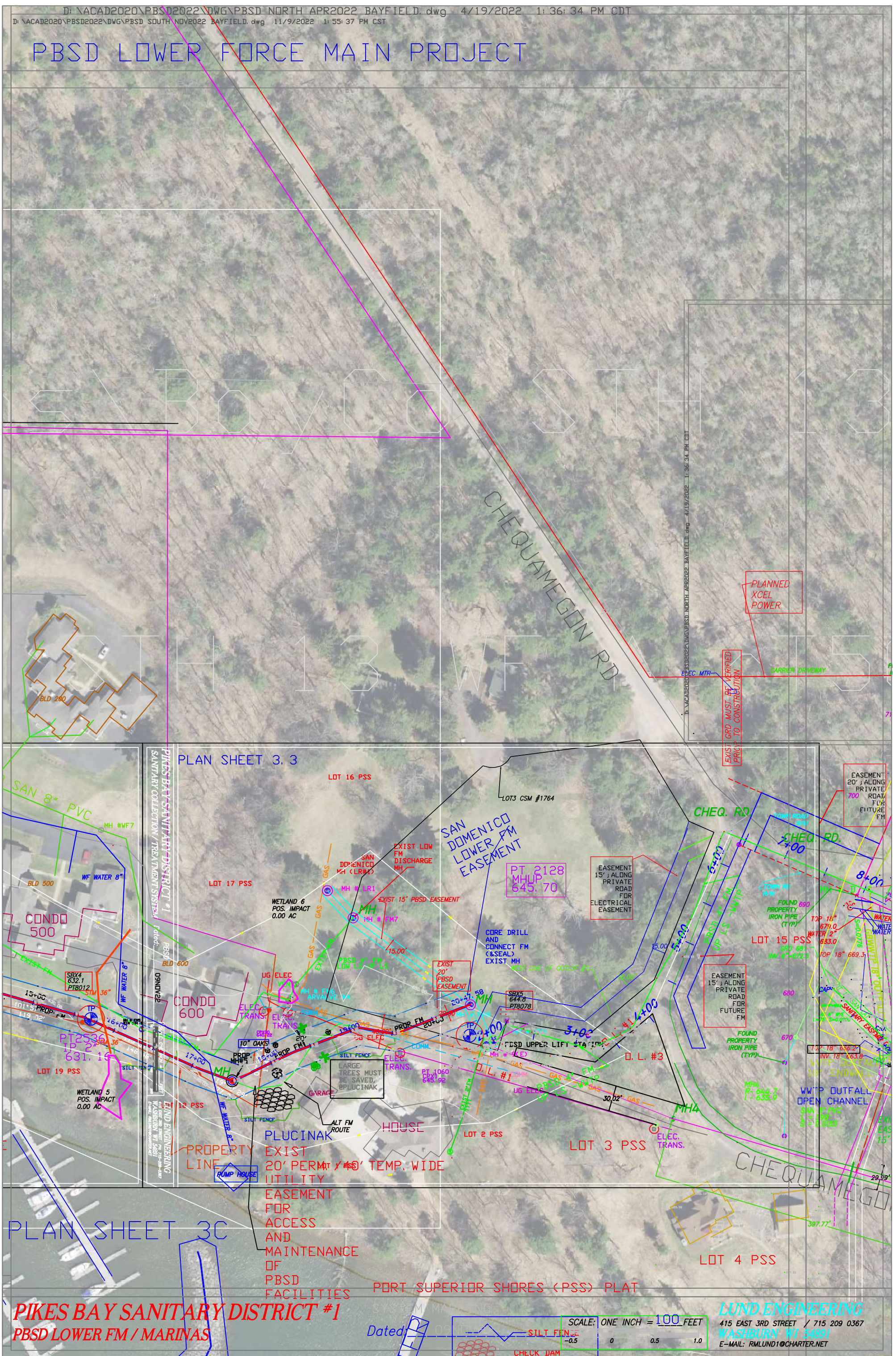


SYSTEM MAPPING
Dated: 09NOV22

EXIST 20' PERM. /40' TEMP. WIDE
UTILITY
EASEMENT
FOR
ACCESS
AND
MAINTENANCE
OF
PBSD
FACILITIES

EXIST 20' PERM. /40' TEMP. WIDE
UTILITY
EASEMENT
FOR
ACCESS
AND
MAINTENANCE
OF
PBSD
FACILITIES

PBSD LOWER FORCE MAIN PROJECT



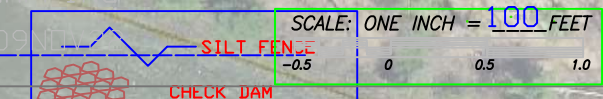
PLAN SHEET 3.3

PLAN SHEET 3C

PIKES BAY SANITARY DISTRICT #1
PBSD LOWER FM / MARINAS

PORT SUPERIOR SHORES (PSS) PLAT

Dated: 09/11/2022



LUND ENGINEERING
415 EAST 3RD STREET / 715 209 0367
WASHBURN WI 54891
E-MAIL: RMLUND1@CHARTER.NET

PLAN SHEET 3.1

803

MARINA STORAGE

MARINA BLDG

FORMER NORTH R/W RR

FORMER C/L RR R/W

GOLDRIDGE GROUP

PORT SUPERIOR MARINA ASSOC.

MARINA SHOP BLDG FF 607.1

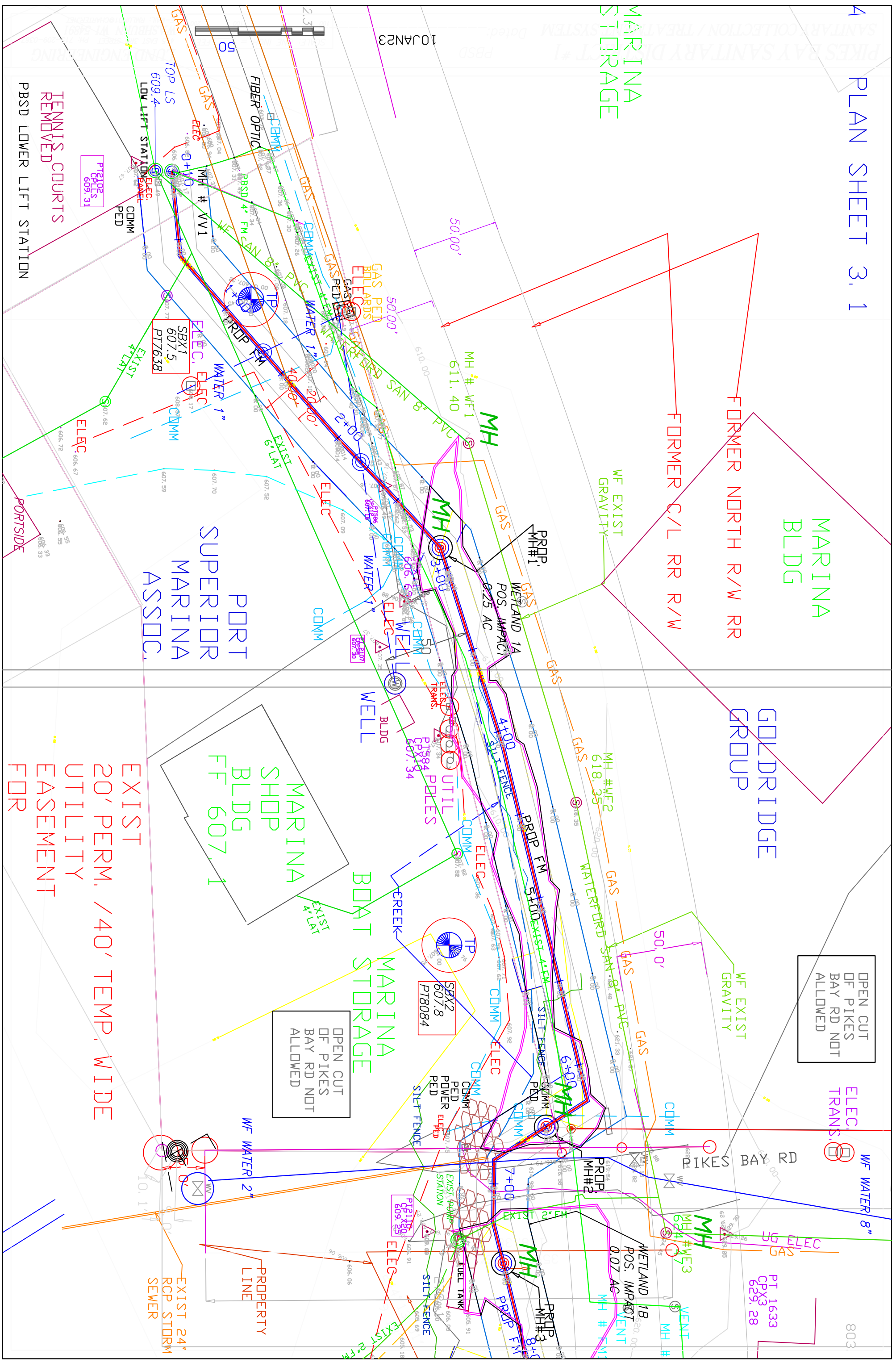
MARINA BOAT STORAGE

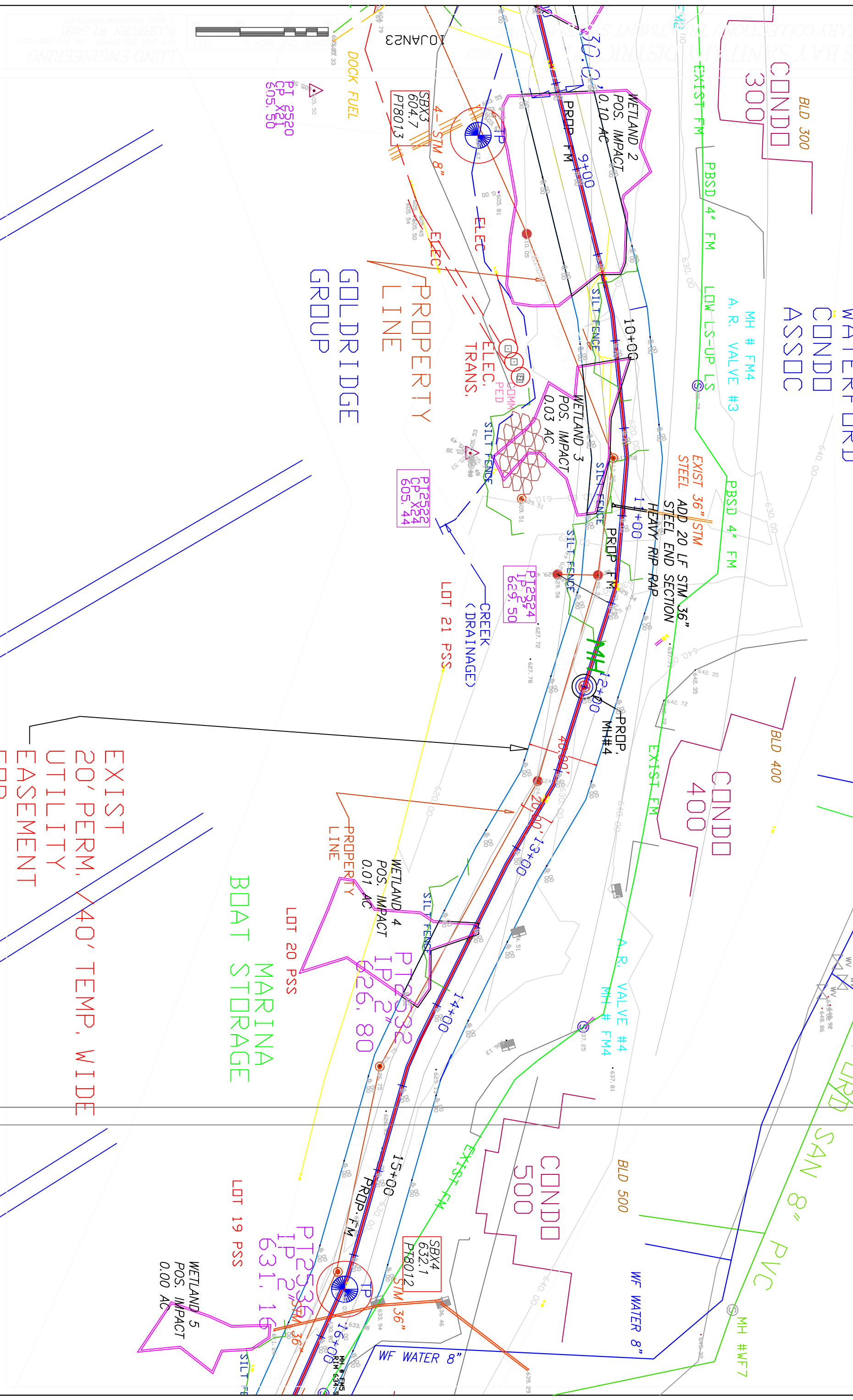
TENNIS COURTS REMOVED
PBSD LOWER LIFT STATION

OPEN CUT OF PIKES BAY RD NOT ALLOWED

OPEN CUT OF PIKES BAY RD NOT ALLOWED

EXIST 20' PERM. / 40' TEMP. WIDE UTILITY EASEMENT FOR





BLD 300
CONDND
300

WATERFORD
CONDND
ASSOC

MH # FM4
A.R. VALVE #3
PBSD 4" FM
LOW LS-UP LS

EXIST 36" STM
ADD 20 LF STM 36"
STEEL END SECTION
HEAVY-RIP RAP

PBSD 4" FM

BLD 400
CONDND
400

EXIST FM

MH # FM4
A.R. VALVE #4

WATERFORD SAN 8" PVC

BLD 500

WF WATER 8"

MH # WF7

CONDND
500

SBY4
652.1
PT8012
STM 36"

WF WATER 8"

PROPERTY
LINE
GOLDRIDGE
GROUP

SBX3
604.7
PT8013

ELEC

ELEC.
TRANS.

PT2524
IP 2
629.50

LOT 21 PSS
(CREEK
<DRAINAGE)

WETLAND 4
POS. IMPACT
0.01 AC
PT2532
IP 2
626.80

PROPERTY
LINE

LOT 20 PSS

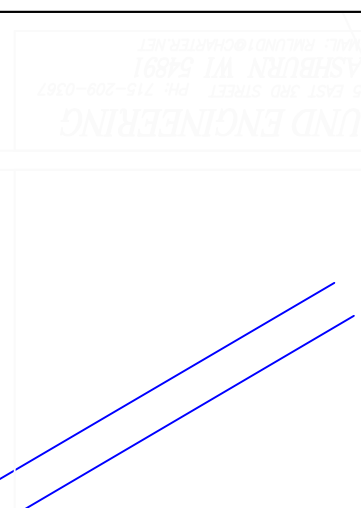
MARINA
BOAT STORAGE

LOT 19 PSS

PT2534
IP 2
631.16

WETLAND 5
POS. IMPACT
0.00 AC

EXIST
20' PERM.
UTILITY
EASEMENT
40' TEMP. WIDE
END

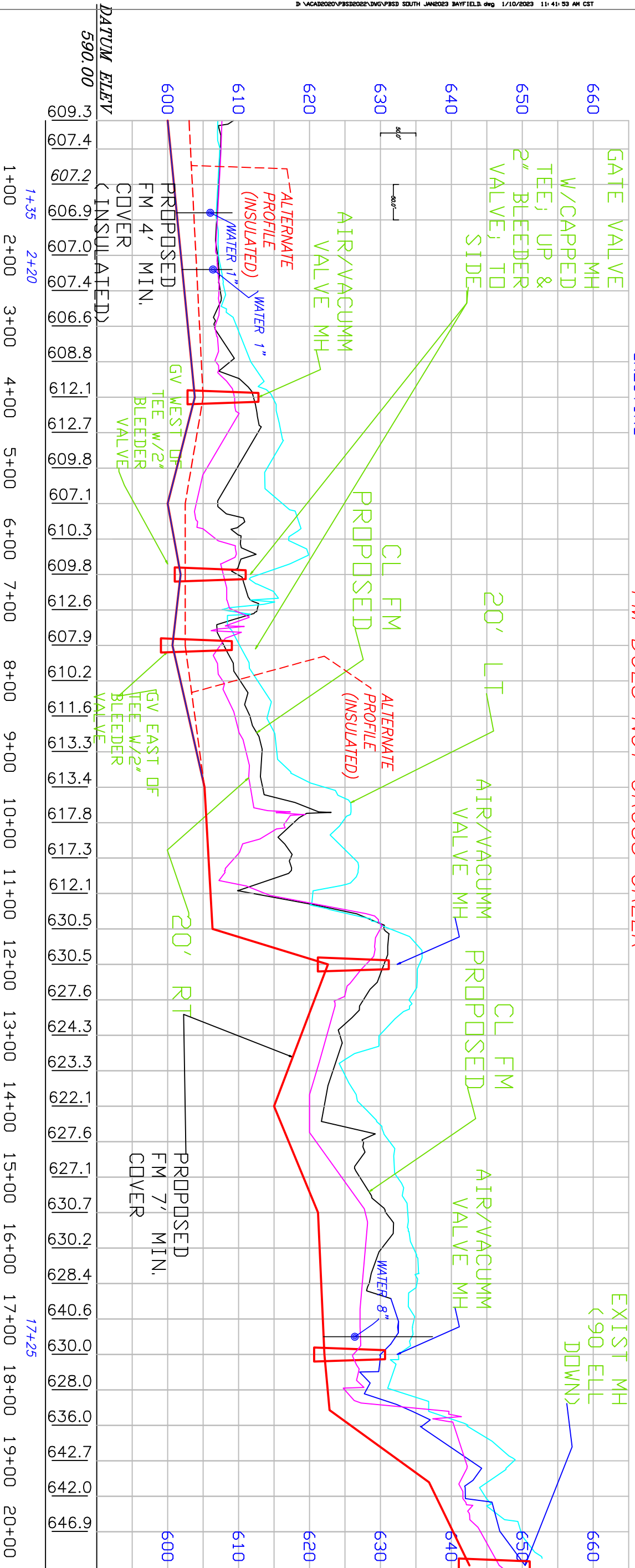


LUIND ENGINEERING
KASBERN IA 52891
2700 W. STATE ST. SUITE 200
PH: 563.725.4321

PLOT SCALE AT 11X17
 H: 1"=150' V: 1"=15'

MH'S TO INCLUDE:
 18" SUMP, CASTING N-1550 OR EQUAL;
 CHIMNEY SEALS AND PIPES BOOT SEALS, AND GROUTING

STA 0+00 TO 9+50
 ALTERNATE TO ALLOW 4' COVER WITH 4" INSULATION 4' WIDE 6" ABOVE PIPE
 GROUNDWATER WAS MEASURED AT ~ 602.4 (SB1), 602.0 (SB2), 601.3 (SB3) ON AUG 03, 2022
 NOAA COOPS WATER LEVEL DATA AVE 602.8 (DULUTH, ONTONOGAN, GRAND MARAIS)
 WATER X-ING (1+35, 2+20, 17+25) - MAINTAIN 18" MIN. VERTICAL CLEARANCE TO PROP. FM
 WATER X-ING / UTILIZE WATERTIGHT JOINTS ON SANITARY WITHIN 10' OF WATER, HORIZONTALLY
 FM DOES NOT CROSS CREEK
 CORE DRILL
 EXIST MH (90 ELL DOWN)



607.6	607.5	607.3	607.0	607.0	607.2	606.7	606.8	609.4	608.5	605.5	604.0	606.8	607.8	609.2	607.4	607.7	609.5	611.1	611.7	616.6	609.4	613.8	630.0	628.0	623.9	625.1	625.7	626.3	626.3	626.7	627.9	627.9	627.4	627.1	626.2	625.0	640.3	642.0	641.6	644.1	648.0
607.1	607.3	607.1	606.9	607.2	608.0	609.7	611.7	614.8	616.0	614.0	616.2	617.1	612.9	607.7	610.1	612.7	614.1	615.4	622.1	624.6	626.2	620.5	631.4	635.5	634.0	629.9	624.7	627.5	631.3	632.4	633.8	634.7	635.1	634.7	632.6	631.7	642.3	648.8	644.7	649.8	

Date	Check #	Name	Amount
2/20/2023		Loan Disbursement	
2/28/2023		Jan and Feb 2023 Engineering Costs	\$ 3,312.50
2/28/2023		Ritola Mobilization Costs	\$ 10,631.25
4/28/2023		March and April 2023 Engineering Costs	\$1,812.50
6/4/2023		May 2023 Engineering Costs	\$3,750.00
6/25/2023		June 2023 Engineering Costs	\$1,250.00
8/1/2023		July 2023 Engineering Costs	\$3,187.50
8/6/2023	6337	Ritola - Pay App #2	\$111,913.68
8/25/2023		August 2023 Engineering Costs	\$9,750.00
8/25/2023		Wetland Regeneration Plan	\$1,500.00
9/4/2023	6402	Ritola - Pay App #3	\$224,715.84
9/8/2023		Photo Log - Compliance for DNR	\$500.00
9/25/2023		September 2023 Engineering	\$2,312.50
11/15/2023		October 2023 - Engineering	\$750.00
11/30/2023		Last Ritola Pay out	\$38,584.53
11/30/2023		November 2023 Engineering	\$812.50
12/4/2023		Legal and Administrative Costs	\$20,000.00
		TOTAL	\$434,782.80

Pike's Bay Marina

\$98,441.39 in assessments (36 REU x \$2734.483)

Port Superior Marina

\$109,379.32 in assessments (40 REU x \$2734.483)

Unit	Name	Mailing Adress	#units	Assessment
101	Laura Lear	34595 Bay View Rd, Unit 101, Bayfield WI 54814	1	\$2,734.48
102	Michael & Barbara Bizal	3572 Pheasant Run NE, Blaine NE 55449	1	\$2,734.48
103	Galt Properties	PO Box 502, Bayfield WI 54814	1	\$2,734.48
104	Phil Johnson	14097 Hickory Marsh Lane, Fort Meyers FL 33912	1	\$2,734.48
105	Thomas & Susan Bogaard	212 N 2nd St, Bayfield WI 54814	1	\$2,734.48
201,401,402	Sheri Lewis (Henck)	2 Black Lake Ct., North Oaks MN 55127	3	\$8,203.45
202	Wayne & Linda Burggraaff	9933 Dakota Rd., Bloominton MN 55438	1	\$2,734.48
203	Thomas & Marcia Wirth	410 First St., Edgerton WI 53534	1	\$2,734.48
204	Sandra & Douglas Milroy	5804 South Dr., Edina MN 55436	1	\$2,734.48
205	James Delamater	6287 Crackleberry Tr., Woodbury MN 55129	1	\$2,734.48
206	Jerry & Mary Nelson	1423 Linden Dr., Ames IA 50010	1	\$2,734.48
301	Dee Johnson	34545 Pumphouse Rd Unit 301, Bayfield WI 54814	1	\$2,734.48
302	Bryce & Susan Thomson	PO Box 175, Balsam Lake WI 54810	1	\$2,734.48
303	Mike Johander	245 West Point Rd., Excelsior MN 55331	1	\$2,734.48
304	Doug & Sutepone Lindemann	5247 Washburn Ave So., Minneapolis MN 55410	1	\$2,734.48
305	Charles Glen & Carol Pavlish	305 Verandah Ave., Novato CA 94945	1	\$2,734.48
306	Sara Malek	11274 Latrobe Ln N, Lake Elmo MN 55042	1	\$2,734.48
403	Mary Ferraro	164 Stoneridge Rd., St Paul MN 55118	1	\$2,734.48
404	Wade Hartenstein & Theresa Koch	328 194th St, Osceola WI 54020	1	\$2,734.48
405	Karen Hites	882 Transit Ave, Roseville MN 55113	1	\$2,734.48
501	Patrick Provo	15072 Scenic Drive, Dayton MN 55327	1	\$2,734.48
502	Gerald K. Carlson	2496 Old Beach Rd, Wayzata MN 55391	1	\$2,734.48
503	Denny & Judy Kurschner	34645 Pumphouse Rd #503, Bayfield WI 54814	1	\$2,734.48
504	Tim & Joleyn Hansen	13507 Elmcrest Ave N., Hugo MN 55110	1	\$2,734.48
505	Clay & Darlene Hansen	7959 142nd Ave NW, Ramsey MN 55303	1	\$2,734.48
506	Robert & Karen Eicher	3092 County Rd E, Glenwood City WI 54013	1	\$2,734.48
601	Doug & Susan Johnson	18135 30th Ave N, Plymouth MN 55447	1	\$2,734.48
602	Gary & Janet Johnson	34705 Pumphouse Rd #602, Bayfield WI 54814	1	\$2,734.48
603	Paula Anderson & Sheila Bray	1401 Waterford Dr., Golden Valley MN 55422	1	\$2,734.48
604	Dave Morris & Anna Hackman	20 2nd St NE #1005, Minneapolis MN 55413	1	\$2,734.48
701	Jon Torkelson & Diane McDonnell	PO Box 7343, Auburn CA 95604	1	\$2,734.48
702	Richard Pfeiffer	1134 Tiffany Pt., Eagan MN 55123	1	\$2,734.48
703	David Johnson	11050 Amen Circle NE, Blaine MN 55449	1	\$2,734.48
704	Warren Anderson	1410 So Jack Pine Dr., Maple WI 54854	1	\$2,734.48
705	Steve & Jane Johnson	13403 283rd Ave, Zimmerman MN 55398	1	\$2,734.48
706	Catherine & Dennis Kilbane	13360 51st St. Ct. N, Stillwater MN 55082	1	\$2,734.48
801	Dale Obert & Linda Mae Stadstad	2851 199th St. E, Prior Lake MN 55372	1	\$2,734.48
802	Susan Nelson	34590 Bay View Rd. Unit 802, Bayfield WI 54814	1	\$2,734.48
803	John Ipsen & Kris Wegerson	34590 Bay View Rd Unit 803, Bayfield WI 54814	1	\$2,734.48
804	Richard & Kathleen Metcalfe	34590 Bay View Road Unit 804, Bayfield, WI 54814	1	\$2,734.48
805	Jay & Nini Dienst	4522 Fairview Ave, Hopkins MN 55343	1	\$2,734.48
901	Marlene Jensch	1369 Harley Circle, The Villages FL 32162-6443	1	\$2,734.48
902	Edward & Mary Steigerwaldt	805 East King St., Tomahawk WI 54487	1	\$2,734.48
903	Stephen & Camilyn Smalley	9828 51st St. N, Lake Elmo MN 55042	1	\$2,734.48
904	Bruce Minea	1202 South Ridge Rd., Duluth MN 55804	1	\$2,734.48
905	Lois Bruen & Kirk Bratrud	34850 Bayview Rd Unit 905, Bayfield WI 54814	1	\$2,734.48
906	John & Teresa Kolar	6723 Abbot Rd., Duluth MN 55803	1	\$2,734.48

Unit	Name	Mailing Adress	#units	Assessment
501	Martha Swedenborg	2928 Pelican Pt. Circle, Mound MN 55364-1954	1	\$2,734.48
503	Helmut & Mary Maier	1201 Yale Pl. Apt 702, Minneapolis MN 55403	1	\$2,734.48
505	Willian & Tamara Burns	7826 28th St. N, Oakdale MN 55128	1	\$2,734.48
507	Gernot Lengsfeld	PO Box 25033, Woodbury MN 55125	1	\$2,734.48
509	James & Diane Runberg	1205 Lakeview Ln North, Brainard MN 56401	1	\$2,734.48
511	David & Mary Van Sant	4175 Lakeridge Rd., Exclesior MN 55331	1	\$2,734.48
602	John & Anne Hansen	120 Summit St. Apt. 207, Duluth MN 55803	1	\$2,734.48
604	James & Nan Corwin	1605 Locust Hills Tr., Wayzata MN 55391	1	\$2,734.48
606	Daniel & Jill Johnson	2505 Willow Dr., Medina MN 55340	1	\$2,734.48
610,612	Robert Nelson	1537 St. Charles St., Alameda CA 94501	1	\$2,734.48
701	701 Port Superior LLC	PO Box 3085, Duluth MN 55803	1	\$2,734.48
703	Charles Burnside	6150 Kerry Lane NE, Minneapolis MN 55432	1	\$2,734.48
705	Port Superior LLC	1540 Green Vista S Dr., Wausau WI 54403	1	\$2,734.48
709	Robert & Shirley Burbank	6995 80th St S. Apt 206, Cottage Grove MN 55016	1	\$2,734.48
711	Andler Tevis Klatzky Trust	4517 Decker Rd, Duluth MN 55811	1	\$2,734.48
802	Dawn Nixon	86360 Valley Rd., Bayfield WI 54814	1	\$2,734.48
804	Thomas & Catherine Kolar	4831 London Rd., Duluth MN 55804	1	\$2,734.48
806	James & Angele Passe	86 Seymour Ave SE, Minneapolis MN 55414	1	\$2,734.48
808	Monique Forcier	266 W 6th St., Duluth MN	1	\$2,734.48
810	Vernon Jay & Gretchen VanderWeide	2909 Ewinhg Ave S, Minneapolis MN 55416	1	\$2,734.48
812	Scott Properties	4415 Venture Ave, Duluth MN 55811	1	\$2,734.48

Unit	Name	Mailing Adress	#units	Assessment
1,7,8	Mark & Kimberly Alley	2435 Haverton Rd, Mendota MN 55120	3	\$8,203.45
2	Doreen Christensen	8479 144th Street, Apple Valley MN 55124	1	\$2,734.48
3,10,11	Jon Andren	PO Box 965, Bayfield WI 54814	3	\$8,203.45
4	Catherine Joy	PO Box 866, Bayfield WI 54814	1	\$2,734.48
5	Ben & Sarah Schram	PO Box 551, La Pointe WI 54851	1	\$2,734.48
6	James Davies & Gary Peterson	328 E Bayfield St, Washburn WI 54891	1	\$2,734.48
9	Lisa Wilcox	10274 Kahler Ave NE, Ostego MN 55362	1	\$2,734.48
12	Keith Laszewski & Diane Peterson	1310 Jackson St, Wausau WI 54403	1	\$2,734.48
13	Alexandre & Yekaterina Fagundes	5085 Kimberly Lane N, Plymouth MN 55446	1	\$2,734.48
				\$35,548.26